



**Planning Commission
Special Meeting
May 31, 2016
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MAY 17, 2016 MINUTES
5. CORRESPONDENCE / BOARD REPORTS
6. APPROVAL OF AGENDA
7. Public Comment: Restricted to (3) minutes regarding issues not on this agenda
8. **New Business**
 - A. SPR 2016-06 : Plaza Corp
Location: 4857 E Bluegrass
9. Old Business
10. Other Business
11. Extended Public Comment
12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on May 17, 2016 at the Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: LaBelle, Mielke, Robinette, Squattrito, Strachan, Woerle, Zerbe

Excused: Fuller, McGuirk

Others Present

Peter Gallinat, Township Planner & Jennifer Loveberry

Approval of Minutes

In the absence of the Secretary, Eric Robinette verbally agreed to sit in as Secretary Pro Tem.

Woerle moved **LaBelle** supported the approval of the May 9, 2016 meeting minutes as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

Correspondence / Reports

No Comments.

Approval of Agenda

Mielke moved **Robinette** supported approval of the agenda amending Item A: Outdoor Lighting Ordinance Discussion. **Vote: Ayes: 7 Nays 0. Motion carried.**

Public Comment – No comments

New Business –

A. **Outdoor Lighting Ordinance Discussion**

Discussion was held by the Commissioners. They asked Township Planner to draft an Outdoor Lighting Ordinance from their discussion and add to next meeting Agenda for discussion.

B. **Sidewalk Waiver Map Discussion**

Discussion was held by the Commissioners. Township Planner to plot waived sidewalks until the Township requires sidewalks on map.

Old Business

A. **Master Plan Update**

- Since voting to amend the Master Plan at the 4/19/16 meeting, the Commissioners would like the results from CARRS / CMU Township survey when considering updates.

- The Commissioners asked for the Township Planner send out separate RFP's for Master Plan and Zoning.

Other Business

Extended Public Comment –open 8:45 p.m.

No comments

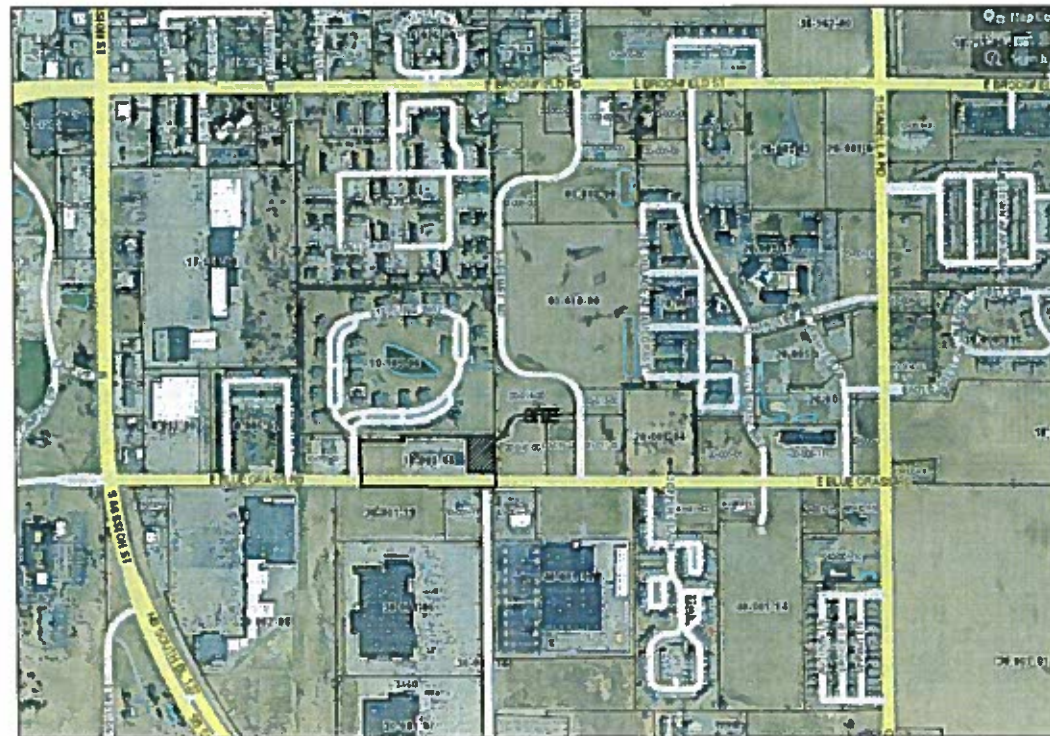
Adjournment – Chairman Squattrito adjourned the meeting at 8:45 p.m.

APPROVED BY:

Alex Fuller - Secretary

(Recorded by Jennifer Loveberry)

UNION SHOPPES - PROPOSED BUILDING SITE PLAN



LOCATION MAP
SCALE: NONE

| ZONED B-5 HIGHWAY BUSINESS | |
|----------------------------|---------------------|
| MINIMUM LOT AREA | 18,000 SQ. FT. |
| MINIMUM LOT WIDTH | 100 FT |
| MAXIMUM STRUCTURE HEIGHT | 35 FT |
| MINIMUM FRONT YARD SETBACK | 50 FT (A,B) |
| MINIMUM SIDE YARD SETBACK | 20 FT (B) |
| MINIMUM REAR YARD SETBACK | 25 FT (A,B) |
| MAXIMUM LOT COVERAGE | 30% (BY ALL BLDGS.) |

(A) Off-street parking shall be permitted to occupy a portion of the required front yard, provided that there shall be maintained a minimum unobstructed and landscaped setback of ten (10) feet between the nearest point of the off street parking areas, exclusive of access driveways and the nearest right-of-way line as indicated on the Major Thoroughfare Plan.

(B) A lot in the B-4 and B-5 District will provide a side and rear yard of at least forty (40) feet when abutting a residential District.

MISS DIG:

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-282-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY. NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND SYMBOLS

| | | |
|----------------------------|--------------------------|-----------------------|
| ○ BOLLARD | □ GAS RISER | ⊙ SOIL BORING |
| ■ CATCH BASIN (CURB INLET) | — GUY ANCHOR | ⊕ STORM SEWER MANHOLE |
| ⊙ CATCH BASIN (ROUND) | ⊗ HYDRANT - EXISTING | ⊕ TELEPHONE RISER |
| ⊙ CATCH BASIN (SQUARE) | ⊗ HYDRANT - PROPOSED | ● TREE - CONIFEROUS |
| ⊙ CLEAN OUT | ☆ LIGHT POLE | ● TREE - DECIDUOUS |
| → DRAINAGE FLOW | □ MAILBOX | ⊙ UTILITY POLE |
| □ ELECTRICAL BOX | ⊙ MONITORING WELL | ⊕ WATER MAIN VALVE |
| ⊙ FOUND CONC. MONUMENT | ⊕ SANITARY SEWER MANHOLE | ⊕ WATER SHUT-OFF |
| ○ FOUND IRON | ● SET IRON | ⊕ FLOOD LIGHT |
| ⊕ GAS MAIN VALVE | — SIGN | ⊕ GAS METER |

LINE TYPES

| | |
|----------|-------------------------|
| — ETC — | BURIED ELECTRICAL CABLE |
| — P-02 — | BURIED TELEPHONE CABLE |
| — D-01 — | CENTERLINE OF DITCH |
| — P-01 — | FORCE MAIN |
| — G-01 — | GAS MAIN |
| — R-01 — | ROAD CENTERLINE |
| — S-01 — | SANITARY SEWER |
| — T-01 — | STORM SEWER |
| — U-01 — | TOE OF SLOPE |
| — V-01 — | TOP OF BANK |
| — W-01 — | UTILITIES - OVERHEAD |
| — X-01 — | UTILITIES - UNDERGROUND |
| — Y-01 — | WATER MAIN |

HATCH PATTERNS

| |
|--------------------|
| ASPHALT - EXISTING |
| ASPHALT - PROPOSED |
| CONCRETE |
| GRAVEL |
| LANDSCAPING |
| RIP-RAP |
| EXISTING BUILDING |

DESCRIPTION PROVIDED (LIBER 1523, PAGES 70-72):

A PARCEL LOCATED IN SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE INTERIOR 1/4 CORNER OF SECTION 26; THENCE WEST 827 FEET; THENCE NORTH 350 FEET; THENCE EAST 827 FEET; THENCE SOUTH 350 FEET TO THE POINT OF BEGINNING.

AND

A PARCEL OF LAND COMMENCING 627 FEET WEST OF THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN; THENCE NORTH 314 FEET; THENCE WEST 112 FEET; THENCE SOUTH 314 FEET; THENCE EAST 112 FEET TO THE POINT OF BEGINNING.

AND

A PARCEL OF LAND COMMENCING 739 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 26, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN; THENCE NORTH 314 FEET; THENCE WEST 190 FEET; THENCE SOUTH 314 FEET; THENCE EAST 190 FEET TO THE POINT OF BEGINNING.

SHEET INDEX

| | |
|---|--------------------------------------|
| 1 | COVER SHEET |
| 2 | TOPOGRAPHIC SURVEY |
| 3 | SITE & HORIZONTAL PLAN |
| 4 | SOIL EROSION PLAN |
| 5 | GRADING & STORMWATER MANAGEMENT PLAN |
| 6 | CONSTRUCTION DETAILS |

BENCHMARK:

RAILROAD SPIKE IN UTILITY POLE ON NORTH SIDE OF BLUEGRASS ROAD ON NEIGHBORING PROPERTY TO THE EAST (PARCEL NO. 14-103-00-015-00, GOODWILL), ELEVATION 801.66

BEARING BASIS:

THE NORTH AND SOUTH 1/4 LINE BETWEEN THE INTERIOR 1/4 CORNER AND THE NORTH 1/4 CORNER WAS TAKEN AS N01°44'48"E FROM A PREVIOUS CENTRAL MICHIGAN SURVEYING AND DEVELOPMENT PROJECT.

| | |
|-------------|--|
| SITE: | 4857 ENCORE DRIVE MT. PLEASANT, MI 48858 |
| OWNER: | PLAZA CORP 211 E. WATER STREET, SUITE 201 KALAMAZOO, MI 49007 CONTACT: MATT BASTOS PHONE: (269) 352-2888 EMAIL: mbastos@plazacorp.net |
| CONSULTANT: | CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC. 510 N. PICKARD STREET - SUITE C MT. PLEASANT, MI 48858 CONTACT PERSON: TIMOTHY E. BOBEE PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com |

CHARTER COMMUNICATIONS
915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 821-4832
RANDY BLUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 466-4282
KIM STUDDT
kimstuddt@cmsenergy.com

FRONTIER
345 PINE STREET
ALMA, MI 48801
(989) 463-0392
MARK A. MARSHALL
Mark.Marshall@fr.com

DTE ENERGY
4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MOKERSE
mokersem@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT
804 EAST HIGH STREET
MT. PLEASANT, MI 48858
(989) 775-5100 EXT 5122
SGT. RANDY KEELER
rkeeler@mt-pleasant.org

CHARTER TOWNSHIP OF UNION
PUBLIC WATER/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
kasmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION
PLANNING & ZONING
2010 NORTH LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911
RICK JAKUBEC
drain@isabellacounty.org

ISABELLA COUNTY ROAD COMMISSION
2251 EAST REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
Pgaffney@isabellacounty.com

CMS & D
SURVEYING / ENGINEERING
510 N. PICKARD STREET - SUITE C
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



COVER SHEET
PLAZA CORP
PART OF THE NORTHWEST 1/4 OF
SECTION 26, T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:

1604-052

SCALE

1" = 40'

SHEET NUMBER

1 of 6

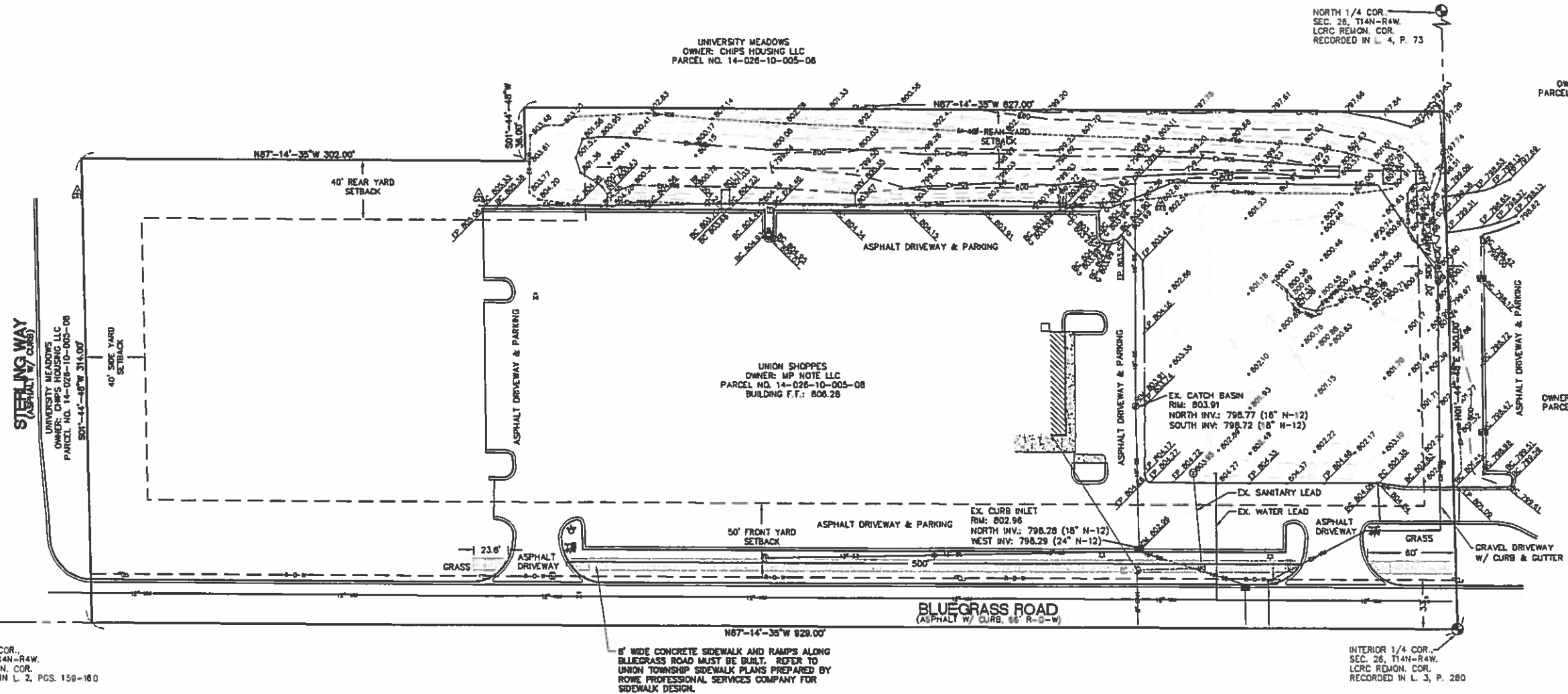


TOPOGRAPHIC SURVEY
PLAZA CORP
PART OF THE NORTHWEST 1/4 OF
SECTION 26, T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|---------|--|
| 1 | 5-11-16 | SUBMITTAL TO CLIENT FOR REVIEW |
| 2 | 5-16-16 | SUBMITTAL TO UNION TWP. SITE PLAN REV. |
| 3 | 5-28-16 | SUBMITTAL TO UNION TWP. SITE PLAN REV. |

| SCALE | JOB NUMBER | DRAWN BY | DESIGNED BY | CHECKED BY |
|--------------|------------|----------|-------------|------------|
| 1" = 40' | 1604-052 | RL | TEB | TEB |
| SHEET NUMBER | 2 of 6 | | | |



SITE PARKING REQUIREMENT TABLE:

BOGGY COFFEE (EXISTING)
FLOOR SPACE: 1750 SFT
OCCUPANCY: 40
FORMULA: 1 SPACE FOR EVERY 3 SEATS (ORD. 10.2,B,6 USE)
40/3= 13.33= 14 SPACES

VACANT UNIT (FORMER IMAGE SUN) (EXISTING)
FLOOR SPACE: 1750 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE (ORD. 10.2,B,9 USE)
1750/150= 11.67= 12 SPACES

ONE MAIN FINANCIAL (EXISTING)
FLOOR SPACE: 1713 SFT
FORMULA: 1 SPACE FOR EVERY 100 SFT OF USABLE FLOOR SPACE (ORD. 10.2,C,3 USE)
1713/100= 17.13= 18 SPACES

LOS AZTECA (EXISTING)
FLOOR SPACE: 4413 SFT
OCCUPANCY: 150
FORMULA: 1 SPACE FOR EVERY 3 SEATS (ORD. 10.2,B,6 USE)
150/3= 50= 50 SPACES

VACANT UNIT (FORMER YOGURT YETI) (EXISTING)
FLOOR SPACE: 1348 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE (ORD. 10.2,B,9 USE)
1348/150= 8.99= 9 SPACES

SPORT CLIPS (EXISTING)
FLOOR SPACE: 1321 SFT
OCCUPANCY: 8
FORMULA: 2 SPACES PER CHAIR (ORD. 10.2,B,10 USE)
2x8= 16= 16 SPACES

RUNNERS (EXISTING)
FLOOR SPACE: 1634 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE (ORD. 10.2,B,9 USE)
1634/150= 10.89= 11 SPACES

AT&T STORE (EXISTING)
FLOOR SPACE: 1784 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE (ORD. 10.2,B,9 USE)
1784/150= 11.89= 12 SPACES

ASPEN DENTAL (EXISTING)
FLOOR SPACE: 3348 SFT
2 DENTIST ON STAFF
FORMULA: 8 SPACES FOR EACH DOCTOR (ORD. 10.2,C,2 USE)
8x2= 16= 16 SPACES

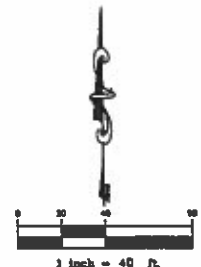
PROPOSED BLDG. TENANT A
FLOOR SPACE: 10,000 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE (ORD. 10.2,B,9 USE)
10,000/250= 40= 40 SPACES

PROPOSED BLDG. TENANT B (PROP. KAY JEWELERS)
FLOOR SPACE: 2000 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE (ORD. 10.2,B,9 USE)
2000/250= 8= 8 SPACES

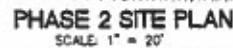
REQUIRED FOR EXISTING: 158 SPACES
REQUIRED FOR PROPOSED: 48 SPACES
TOTAL REQUIRED: 206 SPACES

EXISTING SPACES PROVIDED: 137 SPACES
PROPOSED PARKING: 77 SPACES
TOTAL PLANNED: 214 SPACES

NOTE: EXISTING PARKING SPACE COUNT WAS PROVIDED BY CLIENT



40' REAR



10

1

TEST NUMBER

1

UNIVERSITY MEADOWS
OWNER: CHIPS HOUSING LLC
PARCEL NO. 14-026-10-005-08

40' REAR YARD
SETBACK

DETENTION POND

PROP. 6' HIGH OPAQUE FENCE
& GATE DOUBLE DUMPSTER
ENCLOSURE AROUND 20'x20'
CONCRETE PAD

PROP. CURB & GUTTER

PROP. ASPHALT PARKING
LOT AND DRIVEWAY

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

PROP. CURB & GUTTER

MICHIGAN UNIFIED KEYING SYSTEM SOIL EROSION & SEDIMENTATION CONTROL MEASURES

| KEY | DETAIL | CHARACTERISTICS | KEY | DETAIL | CHARACTERISTICS |
|-----|-------------------------------|---|-----|--------------------------|--|
| 1 | Stripping & Shaping Topsoil | Topsoil may be stripped above barren areas to act as a diversion. Stripping should be temporary seeded. | 35 | Storm Sewer | System removes sediment runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Construct runoff to municipal sewer system or installed buffer treatment. Use catch basin to collect sediment. |
| 2 | Selective Grading & Shaping | Water can be diverted to minimize erosion. Further erosion can occur on exposed areas. | 36 | Catch Basin, Drain Inlet | Collects high velocity concentrated runoff. Must use filter bag to act as a temporary measure. |
| 6 | Seeding w/Plow and/or Seeding | Facilitates establishment of vegetation cover. (Useless for permeability with low velocity. Easily placed in small quantities by transportation personnel. Should feature prepared topsoil seed.) | 55 | Detention Silt Fence | Controls and contains sediment from short flow conditions. Fabric must be "tied" into the soil 6" or more to prevent underflow. Must be constructed of adequate strength from fabric and stakes. |
| 15 | Paving | Prevents erosion except otherwise to be protected, but increases runoff volume and velocity. Irregular surfaces will help slow velocity. | | | |
| 16 | Curb & Gutter | Keeps high velocity runoff on paved areas from heating pond surface. Controls and contains runoff to enclosed drainage system or prepared drainage. | | | |

NOTE: **XXT** **XXP** **35P** **36P**
T = TEMPORARY P = PERMANENT
TYPICAL FOR ENTIRE STORM SEWER SYSTEM

SINGLE NET STRAW BLANKET (90 DAY)

- MUST CONTAIN 100% WHEAT STRAW
- MUST BE SINGLE POLYPROPYLENE, RAPID PHOTODEGRADABLE NETTING
- MUST HAVE NYLON PHOTODEGRADABLE THREAD
- TERMED AS APPROX. 3 MONTH LIFE SPAN
- MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S FULLY PHOTO/BIODEGRADABLE MATERIAL

EXAMPLE OF ACCEPTABLE MATERIAL:
ENVIROSCAPE - 510000 SINGLE NET STRAW BLANKET

NOTE: CONTRACTOR TO INVESTIGATE SITE FOR IRRIGATION SYSTEM WITHIN LANDSCAPED AREAS PRIOR TO CONSTRUCTION. SPRINKLER HEADS AND CONTROL VALVES TO BE PROTECTED AND REPLACED IF DAMAGED.

NOTE: A MINIMUM OF 4-6" OF TOPSOIL MUST BE EITHER IN PLACE OR PLACED AND GRADED PRIOR TO SEEDING. ALL NON-PAVED AREAS WHICH ARE DISTURBED DURING CONSTRUCTION MUST BE SEEDING AND STRAW BLANKET MUST BE PLACED AND SECURED. THESE AREAS MUST BE IRRIGATED FOR A PERIOD OF TWO WEEKS AFTER PLACEMENT.

SOIL EROSION GENERAL NOTES:

1. PRIOR TO ANY SITE WORK, CONTRACTOR MUST INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCE AS SHOWN ON THE PLANS. IF GRADING AND SHAPING IS TO BE USED IN LIEU OF SILT FENCE, THIS WORK MUST BE CARRIED OUT PRIOR TO STRIPPING OF TOPSOIL.
2. CONTRACTOR TO INSTALL TEMPORARY SEDIMENTATION COLLECTION BAGS IN EACH CATCH BASIN LOCATED IN THE ROADWAYS OR PARKING LOTS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE & REPLACEMENT OF BAGS AS NEEDED. BAGS TO BE REMOVED ONLY AFTER SITE HAS BEEN STABILIZED AT THE COMPLETION OF CONSTRUCTION.
3. CONTRACTOR TO STOCKPILE SOIL ON SITE AT A MAXIMUM SLOPE OF 1 ON 3. ALL SOIL PILES ARE TO BE SEEDING TO MAINTAIN SLOPE STABILITY.
4. EXCESS TOPSOIL IS TO BE REMOVED FROM SITE. CONTRACTOR TO COORDINATE THESE ACTIVITIES WITH PROPERTY OWNER. CONTRACTOR TO ENSURE THAT A MINIMUM 50' BUFFER STRIP IS MAINTAINED BETWEEN ALL STOCKPILES & PROPERTY LINE.
5. ALL STOCKPILES THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN 30 DAYS ARE TO BE SEEDING AND STABILIZED.
6. CONTRACTOR WILL TAKE ALL NECESSARY STEPS TO ELIMINATE SOILS/SEDIMENT FROM LEAVING THE PROJECT SITE.
7. THE CONTRACTOR MUST KEEP STREETS FREE OF SEDIMENTATION OR TAKE STEPS TO CLEAN STREETS.
8. SOIL EROSION MAY ALSO OCCUR WHEN SOILS ARE DRY. SOIL EROSION DUE TO BLOWING WINDS MUST BE MINIMIZED BY USE OF WATER TANK TRUCKS.
9. AS SOON AS POSSIBLE SOILS WILL BE COMPACTED TO MINIMIZE SOIL EROSION. IF SOILS ARE LEFT UNCOMPACTED FOR LENGTHY PERIODS THEY MUST BE SEEDING TO MINIMIZE SOIL EROSION.
10. TEMPORARY MEASURES SHALL STAY IN PLACE UNTIL THE CONSTRUCTION ACTIVITIES HAVE ENDED AND/OR THE PERMANENT MEASURES ARE COMPLETED.
11. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR MUST CLEAN ALL SUMPS AND SEDIMENTATION TRAPS.
12. CONTRACTOR IS TO ENSURE THAT ALL CONTROL MEASURES ARE ADEQUATELY MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

UNION SHOPPES
OWNER: MP NOTE LLC
PARCEL NO.
14-026-10-005-08
BUILDING F.F.: 806.28

EX. ASPHALT PARKING
LOT AND DRIVEWAY

EX. CATCH BASIN
RIM: 803.91
NORTH INV.: 798.77 (18" N-12)
SOUTH INV.: 798.72 (18" N-12)

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

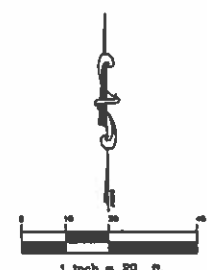
EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

EX. CONC. SIDEWALK

ADD STRUCTURE PROTECTION AS NEEDED

BLUEGRASS ROAD
(ASPHALT W/ CURB EX. R-O-W)



CMS & D
SURVEYING / ENGINEERING
510 N. RICHARD STREET - SUITE C
W. L. PLEASANT, MICHIGAN 48855
PHONE: (800) 775-5012
FAX: (800) 775-5012
EMAIL: info@cms-d.com

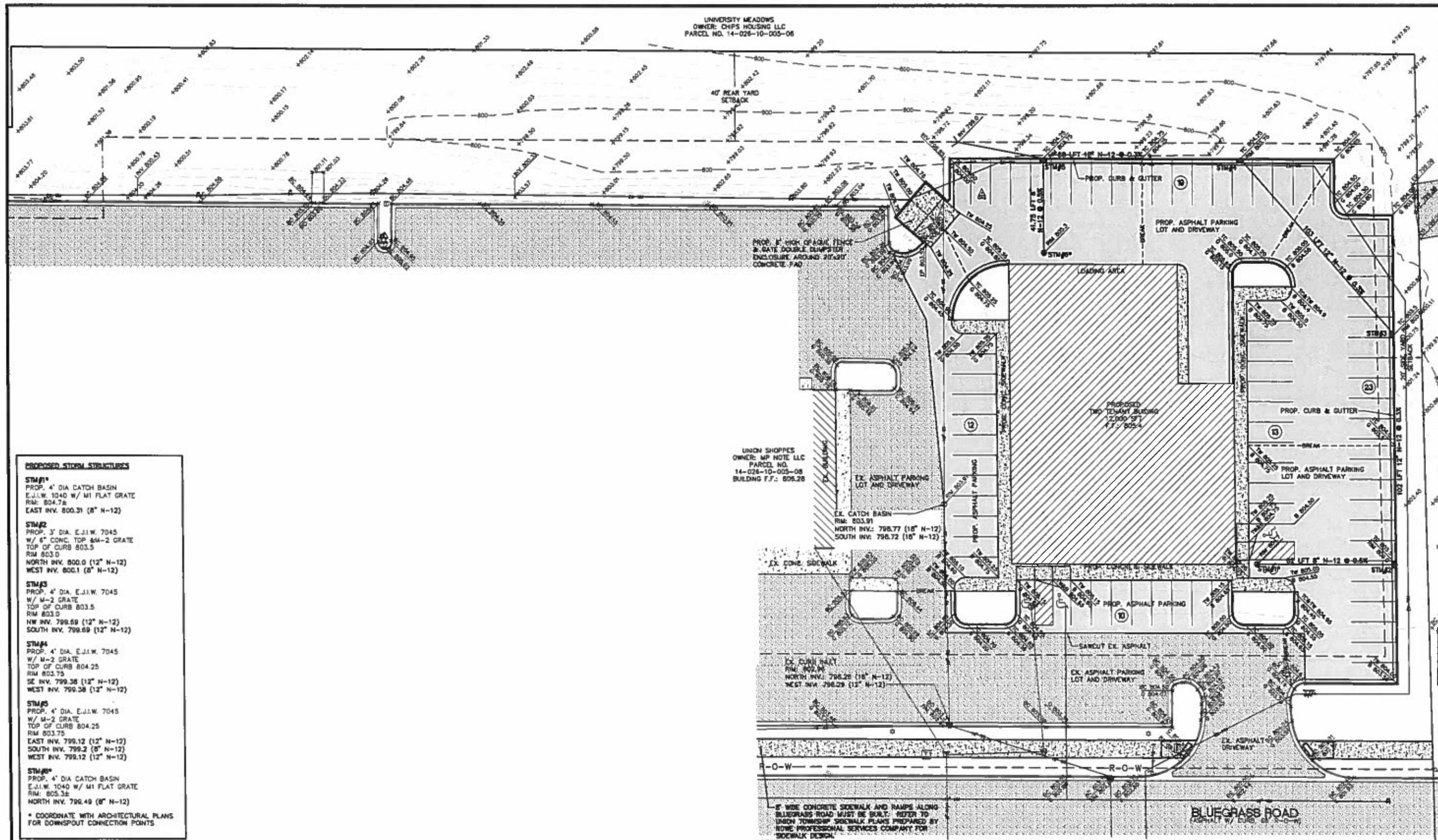


SOIL EROSION PLAN
PLAZA CORP
PART OF THE NORTHWEST 1/4 OF
SECTION 26, T14N-R14W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

REVISIONS:
SUBMITTAL TO CLIENT 8/11-16
SUBMITTAL TO UNION TWP. SITE PLAN REV. 9-16-16
SUBMITTAL TO UNION TWP. SITE PLAN REV. 5-26-16

JOB NUMBER:
1604-052
DRAWN BY:
RLL
DESIGNED BY:
TELB
CHECKED BY:
TELB

SCALE:
1" = 20'
SHEET NUMBER:
4 OF 6



PROPOSED STORM STRUCTURES

STM#1
PROP. 4' DIA. CATCH BASIN
E.J.W. 1040 W/ M1 FLAT GRATE
RM: 804.78
EAST INV. 800.31 (8" N-12)

STM#2
PROP. 3' DIA. E.J.W. 7045
W/ 6" CONC. TOP & 2 GRATE
TOP OF CURB 803.5
RM 803.0
NORTH INV. 800.0 (12" N-12)
WEST INV. 800.1 (8" N-12)

STM#3
PROP. 4' DIA. E.J.W. 7045
W/ M-2 GRATE
TOP OF CURB 803.5
RM 803.0
NW INV. 799.59 (12" N-12)
SOUTH INV. 799.69 (12" N-12)

STM#4
PROP. 4' DIA. E.J.W. 7045
W/ M-2 GRATE
TOP OF CURB 804.25
RM 803.75
SE INV. 799.38 (12" N-12)
WEST INV. 799.38 (12" N-12)

STM#5
PROP. 4' DIA. E.J.W. 7045
W/ M-2 GRATE
TOP OF CURB 804.25
RM 803.75
EAST INV. 799.12 (12" N-12)
SOUTH INV. 799.2 (8" N-12)
WEST INV. 799.12 (12" N-12)

STM#6
PROP. 4' DIA. CATCH BASIN
E.J.W. 1040 W/ M1 FLAT GRATE
RM: 805.38
NORTH INV. 798.49 (8" N-12)

* COORDINATE WITH ARCHITECTURAL PLANS
FOR DOWNSPOUT CONNECTION POINTS

SITE PARKING REQUIREMENT TABLE:

PROPOSED BLDG. TENANT A
FLOOR SPACE: 10,000 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE
(ORD. 10.2.B.9 USE)
10,000/250 = 40 = 40 SPACES

PROPOSED BLDG. TENANT B (PROP. KAY JEWELERS)
FLOOR SPACE: 2,000 SFT
FORMULA: 1 SPACE FOR EVERY 150 SFT OF GROSS FLOOR SPACE
(ORD. 10.2.B.9 USE)
2,000/250 = 8 = 8 SPACES

REQUIRED FOR EXISTING: 158 SPACES
REQUIRED FOR PROPOSED: 48 SPACES
TOTAL REQUIRED: 206 SPACES

EXISTING SPACES PROVIDED: 137 SPACES
PROPOSED PARKING: 77 SPACES
TOTAL PLANNED: 214 SPACES

NOTE: EXISTING PARKING SPACE COUNT WAS PROVIDED BY CLIENT

UNIVERSITY MEADOWS
OWNER: CHIPS HOUSING LLC
PARCEL NO. 14-026-10-005-06

40' REAR YARD
SETBACK

PROP. 1' HIGH OF AQUE FENCE
& GATE DOUBLE DUMPSTER
ENCLOSURE AROUND 21'x21'
CONCRETE PAD

UNION SHOPPES
OWNER: MP NOTE LLC
PARCEL NO.
14-026-10-005-08
BUILDING F.F.: 805.28

EX. CATCH BASIN
RM: 803.91
NORTH INV. 798.77 (18" N-12)
SOUTH INV. 798.72 (18" N-12)

EX. CURB INLET
RM: 802.4
NORTH INV. 798.28 (18" N-12)
WEST INV. 798.29 (12" N-12)

8' WIDE CONCRETE SIDEWALK AND RAMPS ALONG
BLUEGRASS ROAD MUST BE BUILT. REFER TO
UNION TOWNSHIP SIDEWALK PLANS PREPARED BY
ROWE PROFESSIONAL SERVICES COMPANY FOR
SIDEWALK DESIGN.

BLUEGRASS ROAD
(ASPHALT W/ CURB & R.O.W.)

CMS & D
SURVEYING / ENGINEERING
510 N. RICHARD STREET - SUITE C
MT. PLEASANT, MICHIGAN 48858
PHONE: (800) 775-0726
FAX: (800) 775-5012
EMAIL: info@cms-d.com



GRADING & STORMWATER MANAGEMENT PLAN

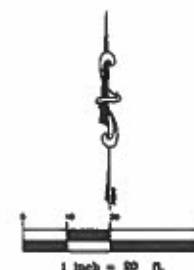
PLAZA CORP
PART OF THE NORTHWEST 1/4 OF
SECTION 26, T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

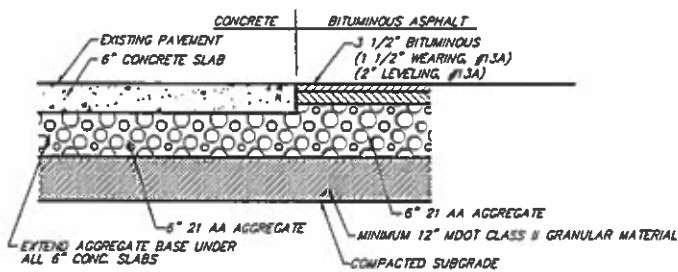
REVISIONS

SUBMITTALS:
SUBMITTAL TO CLIENT 805 REVIEW 9-11-16
SUBMITTAL TO UNION TWP. SITE PLAN REV. 9-16-16
SUBMITTAL TO UNION TWP. SITE PLAN REV. 9-28-16

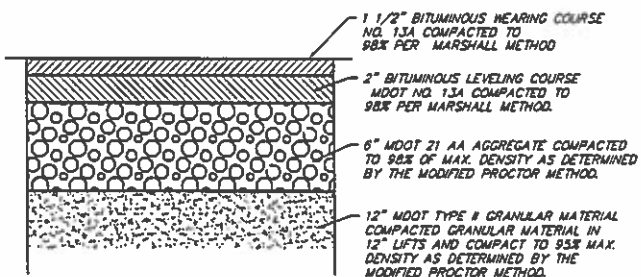
JOB NUMBER:
1804-052
DRAWN BY:
RLL
DESIGNED BY:
TELB
CHECKED BY:
TELB

SCALE:
1" = 20'
SHEET NUMBER:
5 of 6

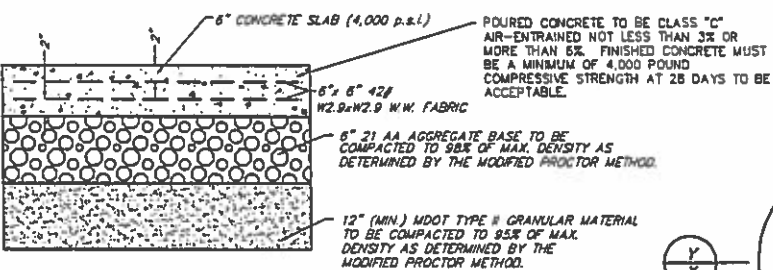




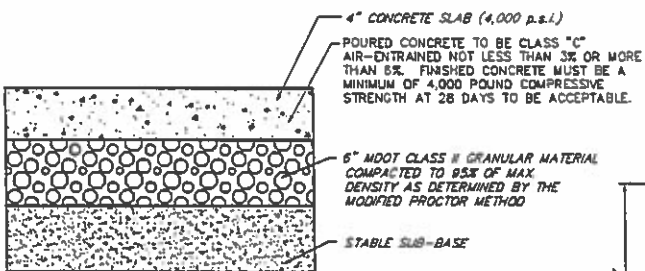
TYPICAL 6" CONCRETE SLAB CROSS-SECTION
NOT TO SCALE



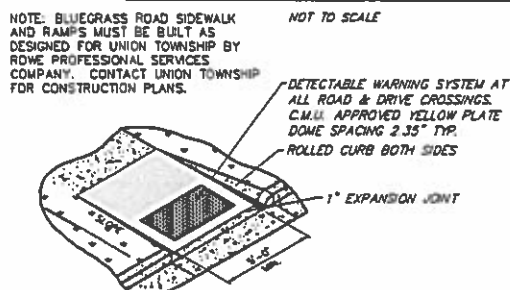
PARKING LOT ASPHALT PAVEMENT CROSS-SECTION
NOT TO SCALE



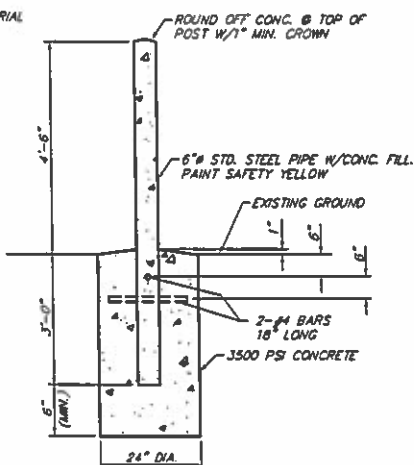
CONCRETE PAD CROSS-SECTION
NOT TO SCALE



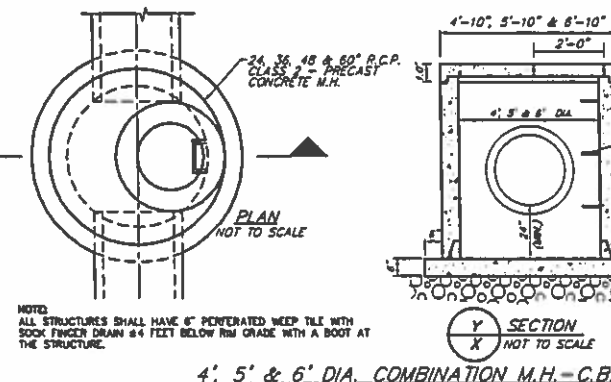
CONCRETE SIDEWALK CROSS-SECTION
NOT TO SCALE



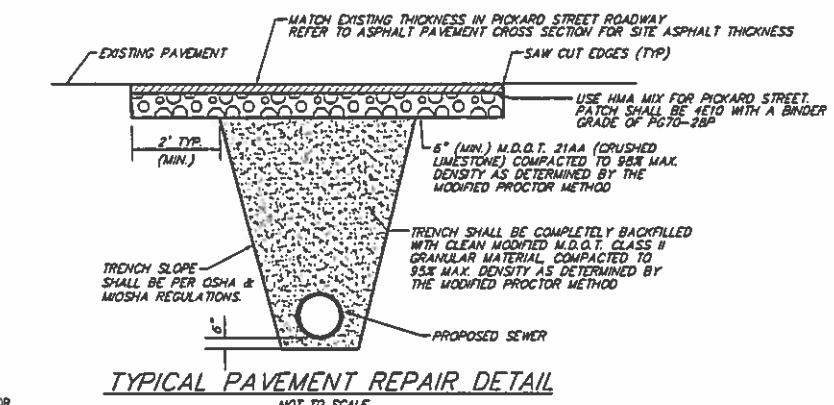
SIDEWALK RAMP - MDOT TYPE I R-28
NOT TO SCALE



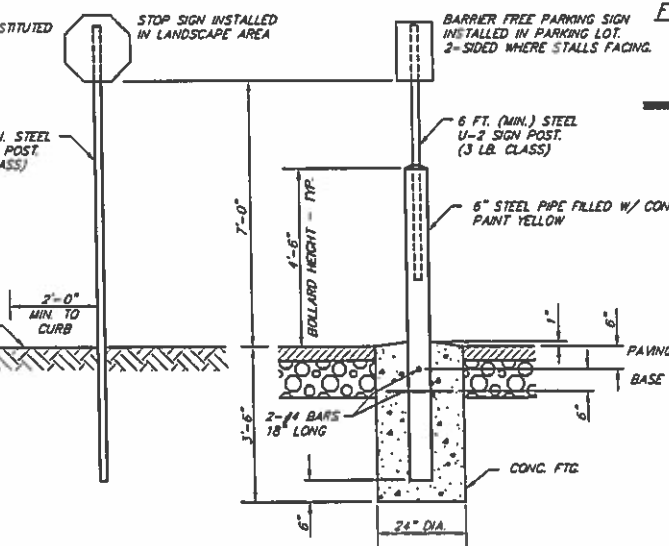
BOLLARD DETAIL
NOT TO SCALE



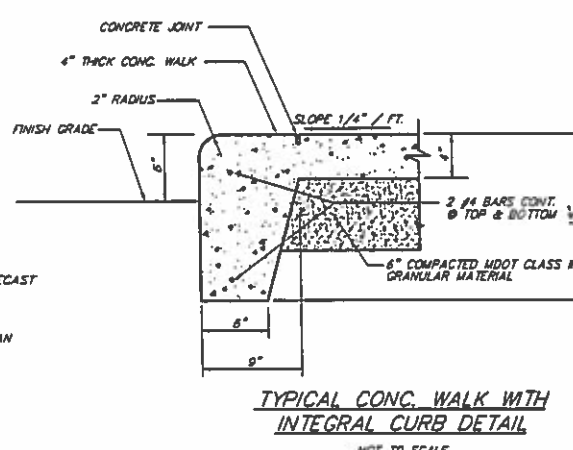
TYP. BARRIER FREE PARKING SIGN
NOT TO SCALE



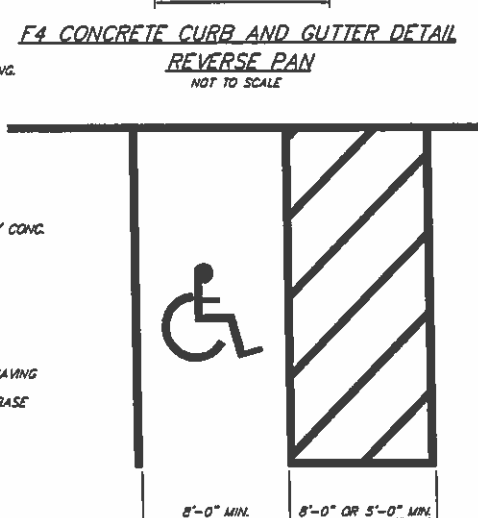
TYPICAL PAVEMENT REPAIR DETAIL
NOT TO SCALE



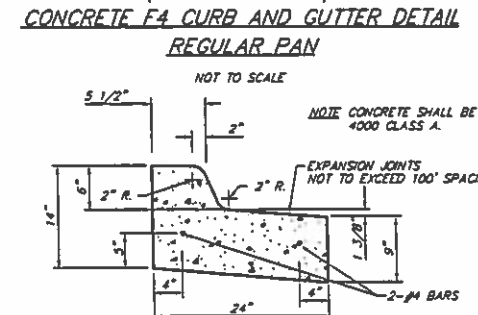
PARKING LOT SIGN POST DETAILS
NOT TO SCALE



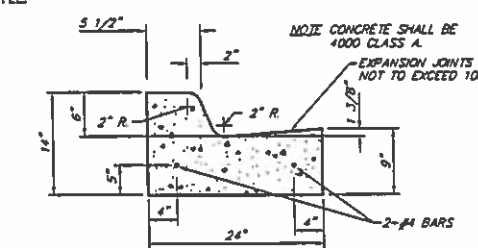
TYPICAL CONC. WALK WITH INTEGRAL CURB DETAIL
NOT TO SCALE



F4 CONCRETE CURB AND GUTTER DETAIL REVERSE PAN
NOT TO SCALE



CONCRETE F4 CURB AND GUTTER DETAIL REGULAR PAN
NOT TO SCALE



CONCRETE F4 CURB AND GUTTER DETAIL REGULAR PAN
NOT TO SCALE

GENERAL NOTES:

THE SANITARY SEWER AND WATERMAIN MUST CONFORM TO THE CITY OF MT. PLEASANT STANDARDS AND SPECIFICATIONS. SHOULD THERE BE A CONFLICT BETWEEN THE PLANS, NOTES, DETAILS AND SPECIFICATIONS, THE UNION TOWNSHIP STANDARDS SHALL GOVERN. THE CONTRACTOR WILL NOTIFY THE ENGINEER AS SOON AS A CONFLICT IS FOUND. INSTALLATION OF THESE UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE UNION TOWNSHIP DEPARTMENT OF PUBLIC WORKS.

ELECTRIC SERVICES TO THE BUILDING AND PARKING LOT LIGHTING SHALL BE UNDERGROUND. SITE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR IN REGARDS TO CONDUIT SLEEVES.

ALL SERVICE LINES ARE SHOWN FOR REFERENCE ONLY. THE EXACT LOCATIONS TO BE DETERMINED BY THE OWNER AND/OR UTILITY COMPANY.

INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES (INCLUDING TRANSFORMER PAD LOCATIONS) SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANIES AND THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS REQUIRED FOR WORKING WITHIN THE ROAD RIGHT-OF-WAY PRIOR TO COMMENCING CONSTRUCTION, WITHIN THESE AREAS.

ROOF WATER FROM THE PROPOSED BUILDING SHALL BE COLLECTED AND CONNECTED TO THE PROPOSED HEADERS AND/OR LEADS ALONG THE BUILDING. COORDINATION WITH THE BUILDING CONTRACTOR PRIOR TO INSTALLATION OF THE HEADERS AND/OR LEADS IS REQUIRED.

THE PROPOSED ELEVATIONS SHOWN ARE TOP OF WALK, TOP OF CURB, FINISHED ASPHALT SURFACE AND GUTTER PAN ELEVATIONS, UNLESS OTHERWISE NOTED.

ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE CITY OF MT. PLEASANT STANDARDS.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MICHIGAN, COUNTY OF ISABELLA AND CITY OF MT. PLEASANT.

SITE CONCRETE PADS SHALL BE 4000 PSI AND REINFORCED WITH 6X8 W2.9 X W2.9. THICKNESS OF CONCRETE SHALL CONFORM TO THE PLANS. THE CONCRETE PADS ADJACENT TO THE BUILDING SHALL BE TAKEN OFF FROM THE ARCHITECTURAL PLANS AND THE CONSTRUCTION OF THE PADS SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR.

DIMENSIONS SHOWN ON THE PLANS ARE GIVEN TO THE BACK OF CURB, FACE OR BACK OF WALK OR THE BUILDING OUTSIDE LINES.

STANDARD PARKING SPACES SHALL BE 9 FEET BY 18 FEET. THE SPACES ARE TO BE INDICATED BY 4 INCH WIDE WHITE LINES. THE PAINT LINES ON THE SITE, EXCEPT NEAR THE BUILDING, SHALL CONFORM TO THE ENGINEER'S PLAN.

CONCRETE CURBING SHALL BE 4000 PSI CONCRETE.

ALL ABANDONED CURB STOP BOXES SHALL BE REMOVED AND SALVAGED FOR C.M.U.

GENERAL NOTES:

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, THE CONTRACTOR SHALL GUARANTEE THE ACCURACY OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY CONSTRUCTION OR PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR WHERE POSSIBLE CONFLICTS EXIST PRIOR TO BEGINNING CONSTRUCTION.

THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS, EXISTING UTILITIES, LOT AND BUILDING DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THE PLANS. ARRANGE TO HAVE UTILITIES IDENTIFIED AND FLAGGED BEFORE STARTING CONSTRUCTION. THE OWNER ASSUMES NO LIABILITY FOR THE LOCATION OF UTILITIES. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT, EXISTING OR PROPOSED UTILITIES (INCLUDING LEADS), SHALL BE COMPLETELY BACKFILLED WITH SAND IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF ITS MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD. THE COST IS TO BE INCLUDED IN THE UNIT PRICE BID FOR EACH ITEM.

THE CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT PART 91 OF PUBLIC ACT 451 OF 1994, AS AMENDED.

GEOTEXTILE FILTER BAGS SHALL BE USED AT ALL CATCH BASINS FOR SOIL AND SEDIMENTATION CONTROL. ALL CATCH BASINS SHALL BE CLEANED UPON COMPLETION OF THE PROPOSED PROJECT. COST FOR CLEANING THE CATCH BASINS SHALL BE INCLUDED IN THE COSTS FOR THE DRAINAGE STRUCTURES.

TOPSOIL SHALL BE STOCKPILED ON THE SITE AND USED AS TOPSOIL SURFACES AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. TOPSOIL WILL NEED TO BE SPREAD IN THE BASH AREA TO A MINIMUM DEPTH OF 6 INCHES. THE BEDS SHOWN ON PLANS WILL NEED TO BE TOPSOIL OR TO HAVE A MINIMUM OF 6 INCHES ON TOPSOIL SPREAD OVER THEM. THE CURB ISLANDS WILL BE FILLED AS SPECIFIED WITH TOPSOIL. THE INTENT IS FOR THE CONTRACTOR AND THE LANDSCAPER TO USE THE EXISTING TOPSOIL TO COMPLETE THE PROJECT PRIOR TO HAULING ANY TOPSOIL ONTO THE SITE. UNSUITABLE TOPSOILS MUST BE DISPOSED OF. DURING THE CLEANUP, ANY REMAINING STOCKPILES WILL NEED TO BE REMOVED. SOIL EROSION MEASURES MUST BE TAKEN TO ASSURE THAT THESE STOCKPILES ARE STABILIZED.

THE CONTRACTOR SHALL SEED AND FERTILIZE DITCH BANKS, SOILS PILES OR BANKS AND ANY OTHER DISTURBED AREAS AS SHOWN ON THE PLANS AND/OR DESCRIBED IN THE SPECIFICATIONS.

THE CONTRACTOR SHALL BACKFILL, COMPACT AND FINE GRADE ALL AREAS BETWEEN THE CURBS AND PAVEMENT AND THE PROPERTY LINES WITH TOPSOIL SUITABLE FOR LANDSCAPING. THE GRADES IN THESE AREAS WILL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

THE UNPAVED AREAS SHALL BE SMOOTHLY GRADED AND THE SURFACE STABILIZED BY SEEDING AS STATED ON THE PLANS. THE MAXIMUM DESIRABLE SLOPE IS 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE STATED.

THE CONTRACTOR SHALL FURNISH AND INSTALL PLAIN RIP-RAP BANK PROTECTION IN AREAS WHERE BANK EROSION WILL MOST LIKELY OCCUR OR AS DIRECTED BY THE ENGINEER.

BROKEN CONCRETE AND DEBRIS SHALL BE CONSIDERED WASTE TO BE DISPOSED OF BY THE CONTRACTOR.

ALL Dewatering REQUIRED FOR CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE BID.

ALL JOINTS AT INTERSECTION APPROACHES AND DRIVEWAYS SHALL BE SAWCUT WITH BUTT-JOINTS. THE COST SHALL BE INCLUDED WITH THE PAYMENT FOR EXCAVATION.

THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES ON THE PROJECT. THE COST IS TO BE INCLUDED IN THE LUMP SUM FEE.

ALL WATER VALVE BOXES, ELECTRICAL BOXES, GAS VALVES AND ANY OTHER EXISTING UTILITY STRUCTURES ON THE SITE SHALL BE ADJUSTED TO FINISHED GRADE. THE COST SHALL BE INCLUDED IN THE LUMP SUM FEE.

CMS & D
SURVEYING / ENGINEERING
510 W. PLEASANT STREET - SUITE C
MT. PLEASANT, MICHIGAN 48858
TEL: (800) 775-0750
FAX: (800) 775-5012
EMAIL: info@cms-d.com



CONSTRUCTION DETAILS
PLAZA CORP
PART OF THE NORTHWEST 1/4 OF
SECTION 26, T14N-R4W, UNION TOWNSHIP,
ISABELLA COUNTY, MICHIGAN

| REVISIONS: | DATE | BY | DESCRIPTION |
|-------------------------|---------|----|-------------|
| SUBMITTALS: | | | |
| SUBMITTAL TO CLIENT | 5-11-16 | | |
| SUBMITTAL TO UNION TWP. | 5-15-16 | | |
| SUBMITTAL TO UNION TWP. | 5-26-16 | | |

| JOB NUMBER: | SCALE: | SHEET NUMBER: |
|-------------|--------------|---------------|
| 1604-052 | 1" = 20' | 6 OF 6 |
| DRAWN BY: | DESIGNED BY: | CHECKED BY: |
| RL | TELB | TELB |

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name PLAZA CORP.
- III. Applicant Address 211 E. WATER STREET, SUITE 201, KALAMAZOO, MI 49007
- IV. Applicant Phone 269-352-2988 Owner Phone _____
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V & VI)
Other
- VI. Land Owner Name SAME AS ABOVE
- VII. Land Owner Address _____
- VIII. Project/Business Name UNION SHOPPES - PROPOSED BUILDING
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

| SUBMITTALS TO OTHER AGENCIES | | Off |
|--|---------|---|
| Storm water management plan approval prior to application. Reviewed by the County Engineer | X | Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional. |
| All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application. | X | MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies. |
| Mt. Pleasant Fire Dept. | X | Sgt Randy Keeler (989) 779-5122, (2) copies |
| Isabella Co Transportation Commission (ICTC) | X | Rick (989) 773 2913, (2) copies |
| WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans) | | |
| Hazardous Substances Reporting Form Part I and II (Forms included in this packet) | X | Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com |
| PERMIT INFORMATION - DEQ Check List | X | |
| SITE PLAN REQUIREMENTS | I Of | Comments - (also indicate any features which will not be included in the development or are not applicable) |
| Name and addresses of Property Owner | X | |
| Name and Address of Applicant | | |
| Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided) | X | |

Union Township Site Plan Review Application 2015 Revision

| | | |
|---|---|---|
| The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres. | X | |
| All lot and/or property lines are to be shown and dimensioned, including building setback lines | X | |
| The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - | X | |
| drives, ----- | X | |
| sidewalks, (required) ----- | X | |
| curb openings, ----- | X | |
| acceleration/deceleration lanes, ----- | X | |
| signs, ----- | X | |
| exterior lighting on buildings and parking lots, - - | X | |
| parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), ----- | X | |
| recreation areas, ----- | X | |
| common use areas, ----- | X | |
| areas to be conveyed for public use and purpose. - | | |
| Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation | X | |
| Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application. | X | Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department |
| All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon) | X | |
| The location and right-of-way width of all abutting roads, streets, alleys and easements. | X | |
| A locational sketch drawn to scale giving the section number and the nearest crossroads. | X | |

Union Township Site Plan Review Application 2015 Revision

| | | |
|--|---|--|
| The zoning of the subject property and the abutting properties. | X | |
| | | |
| The location, height and type of fences and walls. | X | |
| | | |
| The location and detailed description of landscaping. | X | |
| | | |
| For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans. | X | |
| | | |
| The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary. | X | |
| | | |
| For apartments, provide a count of bedrooms per building and total count of bedrooms for the project. | X | |
| | | |

APPLICANT COMMENTS

[illegible]

Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.



Signature of Applicant

5-13-16

Date

Signature of Owner (if other than applicant)

Date

PLEASE PLACE OUR REVIEW ON THE MAY 31, 2016 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You
will not receive a reminder of the scheduled meeting.

Union Township Site Plan Review Application 2015 Revision

| <u>Township use</u> | <u>Review Comments</u> |
|---|--------------------------------|
| SPR | |
| File # <u>2016-07</u> | <u>Meeting with Developers</u> |
| Fee Paid initial <u>\$225/\$600</u> | <u>ON 5-20-16</u> |
| <u>71956 Site Plan</u> | |
| Receipt # <u>71957 special meeting</u> | |
| Date received <u>5-16-16</u> | |
| Date review completed by Zoning Administrator _____ | |
| Place on the <u>5-31-16</u> <u>Special Meeting</u> Planning Commission Agenda | |
| Planning Commission Decision _____ | |

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: PLAZA CORP

Name of business owner(s): MATT BASTOS

Street and mailing address: 211 E. WATER STREET, SUITE 201
KALAMAZOO, MI 49007

Telephone: 269-352-2988

Fax: _____

Email: mbastos@plazacorp.net

I affirm that the information submitted is accurate.

Owner(s) signature and date:

 5-13-16

Information compiled by:

CMS + D

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y ☒ N ☐ Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y ☒ N ☐ ~~Will the facility be located on-site?~~
on-site?
3. Y ☒ N ☐ Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y ☒ N ☐ Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y ☒ N ☐ Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations. For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y ☒ N ☐ Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank
b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y ☒ N ☐ Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

| Common Name | CHEMICAL NAME (components) | Form | MAX QUANTITY ON HAND AT ONE TIME | TYPE OF STORAGE CONTAINERS |
|-------------|--|------|-------------------------------------|---|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | KEY: LQ = liquid P.L.Q = pressurized liquid S = solids G = gas PG = pressurized gas | | | KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders OW = wooden or composition container TP = portable tank |



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

| KEY QUESTIONS: | Yes <input type="checkbox"/> | No <input type="checkbox"/> | PROGRAM, WEBPAGE AND CONTACTS |
|--|--|--|---|
| MISCELLANEOUS CONSTRUCTION | | | |
| <i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | Air Quality Division (AQD), <u>Permit Section</u> |
| <i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | AQD, <u>Asbestos Program</u> |
| <i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | Water Resources Division (WRD), <u>Joint Permit Application</u> |
| <i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)? | Y <input checked="" type="checkbox"/> | N <input type="checkbox"/> | <u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u> |
| <i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u> |
| <i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | <u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u> |
| <i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | <u>Endangered Species Assessment, Threatened and Endangered Species Program</u> , 517-373-1552 |
| Does the project involve construction or alteration of any sewage collection or treatment facility? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | Appropriate <u>District Office</u> , WRD, Part 41 <u>Construction Permit Program</u> |
| Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u> |
| Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> |
| WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water") | | | |
| I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids) | Y <input checked="" type="checkbox"/> | N <input type="checkbox"/> | Contact your <u>Local Water Utility</u> |
| I have a private or other water supply well (Type III) | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | Contact your (District or County) <u>Local Health Department</u> |
| I have a Non-Community Water Supply (Type II) | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | <u>Guide</u> , Contact your (District or County) <u>Local Health Department</u> |
| I am a community water supply (Type I) | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | <u>Community Water Supply</u> , <u>DEQ District Office Community Water Supply Program</u> |

| WASTEWATER MANAGEMENT | | |
|---|-------------------------------|--|
| Storm Water Discharge to Wetlands: Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u> |
| Great Lakes: Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u> |
| Inland Lakes and Streams: Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u> |
| Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes: Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u> |
| Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u> |
| Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Shoreland Management</u> |
| Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Shoreland Management</u> |
| Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Sand Dune Management</u> |
| Does the project involve construction of a dam, weir or other structure to impound flow? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Dam Safety Program</u> |
| CONSTRUCTION PERMITS (SECTOR SPECIFIC) | | |
| Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> Office of Drinking Water & Municipal Assistance (ODWMA) |
| Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> ODWMA |
| Does the project involve the construction or modification of a campground? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> ODWMA, <u>Campgrounds program</u> |
| Does the project involve the construction or modification of a public swimming pool? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> ODWMA, <u>Swimming pools program</u> |
| OPERATIONAL PERMITS | | |
| Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> AQD, <u>Permit Section</u> |
| NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, Appropriate DEQ District Office, or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> |
| Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Permits Section</u> , or appropriate DEQ District Office |
| Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> WRD, <u>Groundwater Permits Program</u> |
| Does the project involve the drilling or deepening of wells for waste disposal? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> Office of Oil, Gas and Minerals (OOGM) |
| Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> OWMRP or Appropriate DEQ District Office |

| | | | |
|--|-------------------------------|--|--|
| Does the project involve the on-site treatment, storage, or disposal of hazardous waste? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, <u>Hazardous and Liquid Waste</u> |
| Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>) | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, Appropriate <u>DEQ District Office</u> |
| Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, <u>Radioactive Material and Standards Unit</u> |
| Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP <u>Radioactive Material and Standards Unit</u> |
| Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | WRD, DWEHS, <u>Source Water Protection Unit</u> |
| CHEMICAL ADDITION PROJECTS | | | |
| Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | WRD, Appropriate <u>DEQ District Office</u> , <u>Public Water Supply Program</u> |
| Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5. | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u> |
| Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | WRD, <u>Surface Water Assessment Section</u> |
| OPERATIONAL PERMITS (SECTOR SPECIFIC) | | | |
| Does the project involve the transport of some other facility's non-hazardous liquid waste? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, <u>Transporter Program</u> |
| Does the project involve the transport hazardous waste? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, <u>Transporter Program</u> |
| Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | AQD, <u>Acid Rain Permit Program</u> |
| Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | DEQ, AQD, <u>Dry Cleaning Program</u> |
| Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | DEQ, <u>Laboratory Services Certifications</u> |
| Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, <u>Medical Waste Regulatory Program</u> |
| Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | ODWMA, <u>Septage Program</u> |
| Do you store, haul, shred or process scrap tires? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | OWMRP, <u>Scrap Tire Program</u> |
| Does the project involve the operation of a public swimming pool? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | ODWMA, <u>Public Swimming Pools Program</u> |
| Does the project involve the operation of a campground? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | ODWMA, <u>Campgrounds</u> |
| Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)? | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | ODWMA, <u>Water Hauler Information</u> |
| PERSONAL LICENSES/CERTIFICATIONS | | | |
| Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm | Y <input type="checkbox"/> | N <input checked="" type="checkbox"/> | WRD, <u>Operator Training, Storm Water Program</u> |

| | | |
|--|--|--|
| Water or Groundwater)? | | |
| Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | WRD, <u>Operator Training</u> |
| Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | WRD, <u>Well Construction Unit</u> |
| OIL, GAS AND MINERALS | | |
| Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Petroleum Geology and Production Unit</u> |
| Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u> |
| Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Minerals and Mapping</u> |
| Does the project involve the surface or open-pit mining of metallic mineral deposits? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Minerals and Mapping</u> |
| Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Minerals and Mapping</u> |
| Does the project involve mining coal? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Minerals and Mapping</u> |
| Do you want to change the status of an oil or gas well (i.e. plug the well)? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Permits and Bonding Unit</u> |
| Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Permits and Bonding Unit</u> |
| Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Permits and Bonding Unit</u> |
| Does the project involve changing the status or plugging of a mineral well? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Minerals and Mapping</u> |
| Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OOGM, <u>Minerals and Mapping</u> |
| Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | OWMRP, <u>Radioactive Protection Programs</u> |
| STORAGE TANKS (CONSTRUCTION AND OPERATION) | | |
| Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u> |
| Does the project involve the installation of a compressed natural gas dispensing station with storage? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | DLARA - <u>Storage Tank Unit, 517-335-7211</u> |
| Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | DLARA - <u>Storage Tank Unit, 517-335-7211</u> |
| Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | DLARA - <u>Storage Tank Unit, 517-335-7211</u> |
| Does the project involve the installation of a hydrogen system? | Y <input type="checkbox"/> N <input checked="" type="checkbox"/> | DLARA - <u>Storage Tank Unit, 517-335-7211</u> |

FIRE HYDRANTS

Date: 5/19/16

Address: Union Shoppes

1. Building Construction Type: IIB
2. Building Square Footage: Proposal 1-12,000sqft. Proposal 2-17,00sqft.
3. Fire Flow Required: Proposal 1 or 2-2250gpm (Review based on *fire wall* separation for proposal 2)
4. Number of Fire Hydrants Required: 2 hydrants
5. Spacing allowed between fire hydrants: 450'
6. Maximum distance from any street or road frontage to a hydrant: 225'
7. Building sprinkled or non-sprinkled: NON
8. Distance from fire hydrant to the remote part of the building: 400'
9. Standpipes – Hydrant within 100' of FDC: N/A



Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, Mi 48858

Union Township Site Plan Review

Wednesday May 25, 2016

Union Shoppes/Plaza Corp

4000blk E Bluegrass RD
4000 Block of East Bluegrass Raod
Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Wednesday May 25, 2016 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

1 PROPERTY Identification

Proposed Construction Site
Union Shoppes
Print Date: 5/16/16
4000 Block of E. Bluegrass Road, Union Township
Construction type: IIB
Proposal 1 & Proposal 2 site plan.

ACCESS AND WATER Road and Water Supply

When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.

ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.

Union Township Site Plan Review

Site plan meets requirements.

ACCESS ROAD LOAD Designed and Maintained to Support the

All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.

ACCESS ROAD OBSTRUCTED Dimensions and Clearances

All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)

Site plan meets requirements.

ACCESS ROAD SIGNAGE Signage Requirements

All fire apparatus access roads shall be conspicuously posted with uniform "NO PARKING" or "FIRE LANE" signs in keeping with the standard established in applicable law, or as prescribed by the fire code Official and erected on both sides of the fire apparatus access roads. Signs shall be erected no further than 100 feet apart in all areas designated as fire apparatus access roads. Signs shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility, in accordance with Chapter 5, Section 503.3 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(E)

ACCESS ROAD W/HYDRANT Width of Road with a Fire Hydrant

Where a fire hydrant is located on a fire department apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders as in accordance with Appendix D, Section D103.1 of the 2012 Edition of the International Fire Code.

Site plan meets requirements.

BUILDING IDENTIFICATION Buildings Shall Have Address

Provide address identification numbers in accordance with Chapter 5, Sections 505.1 of the 2012 Edition of the International Fire Code or applicable to the City of Mt. Pleasant code of ordinances 150.01 Land Usage.

Will verify during inspections.

Union Township Site Plan Review

DUMPSTERS Dumpster Locations

Dumpster's and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines in accordance with Chapter 3, Section 304, and 304.3.3 of the 2012 Edition of the International Fire Code.

GENERAL STATEMENT List Not All-Inclusive

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

HYDRANT CLEARANCE 3 ft Space Around Hydrants

A 3 foot clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved, in accordance with Chapter 5, Section 507.5.5 of the 2012 Edition of the International Fire Code.

HYDRANTS GUARDS Hydrants Subject to Impact

Where fire hydrants are subject to impact by a motor vehicle, guard posts or other approved means shall be provided in accordance with Chapter 5, Section 507.5.6 and with Section 312 of the 2012 Edition of the International Fire Code.

WATER SUPPLY (SPACING) Number and Spacing of Hydrants

Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code.

Site plan meets requirements (see hydrant work sheet)

WATER SUPPLY (GPM) Capable of Supplying the Required Fire

Provide fire hydrants capable of supplying the required fire flow in accordance with Chapter 5, Section 507 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code. (Contact Fire Department to verify locations.)

Site plan meets requirements.

KNOX BOX Knox Box Requirements and Location

Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and

Union Township Site Plan Review

search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)

Keeler, Randy
Lieutenant
Mount Pleasant Fire Department